

CITY OF **LACAHADA FLINTRIDGE**

PLANNING COMMISSION MEMORANDUM

February 9, 2016 Meeting

To: Planning Commission
From: Chris Gjolme ~ Planner
RE: Continued Public Hearing; Hillside Development Permit 14-39/Second-floor Review 14-36/Conditional Use Permit 506 /Dir. Misc. Review 15-23 (flat roof); 520 Haverstock Road; Johnson/Giragosian
Date: 11/20/2015

A. BACKGROUND:

The Commission will recall the proposal to construct a new 12,185 sq. ft. 2-story custom residence, inclusive of a subterranean basement, and related site improvements including a rear yard pool/patio, expanded and reconfigured driveway, and various retaining walls to facilitate the driveway and expand pad area.

The item was reviewed at the September 8, 2015 Planning Commission meeting. While the architectural design, size of the house and basic project concept was not an issue for a majority of the Commission, the extent of grading proposed was problematic while information pertaining to drainage and public improvements was inadequate.

Accordingly, the item was continued in order to reevaluate and reduce the scope of the grading, provide additional drainage information and clarify the extent of public improvements that would be associated with the project. In concert with this, additional review by Public Works would be required prior to the item returning to the Planning Commission.

B. REVISIONS & EVALUATION:

Residence

Although several neighbors questioned the proposed size of the residence and its excess relative to the Slope Factor Guideline (SFG), staff and the Commission were not overly concerned given the home's ample compliance with the underlying floor area standard and the lot's relatively secluded location. With this said, total project area has been reduced by 614 sq. ft. through compression of the floor plans at both levels. Examples of this include reducing the length of the home's footprint from 109 feet to 105 feet, elimination of a superfluous master bedroom corridor extending from the 2nd-floor gallery and conversion of a large dressing area to a smaller vestibule. In addition, the

northern garage wing has been eliminated to reduce the width of the home and associated mass to the front. This area has been reallocated to the south garage wing, where a 3-car garage and tandem 4th bay are now proposed. The 549 sq. ft. terrace flanking the living room constitutes a street-facing porch and is exempted from floor area calculations (*this area was inadvertently counted previously*). With the eliminated and exempted floor area, total project area would be 11,022 sq. ft., of which 862 sq. ft. consists of non-exempt covered terraces and decks on the interior side of the home, features that aide in articulating the structure, but exaggerate the scope of the project to an extent. Absent this space, project area would be 10,160 sq. ft., just above the 10,000 sq. ft. CUP threshold.

The 84-foot front setback referenced on the original plan was incorrect due to a line work error that extended the dimension several feet beyond the front façade. This has been corrected, and the home has been shifted back 5 feet from its original location, with the front setback increasing from 74'-7" feet to 79'-7", still more than 3x the standard for the site. Remaining setbacks have been verified and remain consistent with the previous submittal. In all, the revised residence compares with the original project as follows:

	STANDARD	W/SFG ADJUST.	ORIGINAL PROJ.	REVISED PROJECT
Floor Area:	16,234 sf	8,117 sf	12,185 sf	11,022 sf
Front SB:	25 feet	n/a	74'-7"	79'-7"
West Side SB				
1st floor:	20 feet	n/a	30 feet	30 feet
2nd floor:	20 feet	n/a	30 feet	30 feet
East Side SB				
1st floor:	20 feet	n/a	20'-6"	20 feet
2nd floor:	20 feet	n/a	52 feet	53 feet
Rear SB:	15 feet	n/a	46'-4"	46'-4"
Height:	28 feet	n/a	27'-9"	27'-10"

Entry Structure

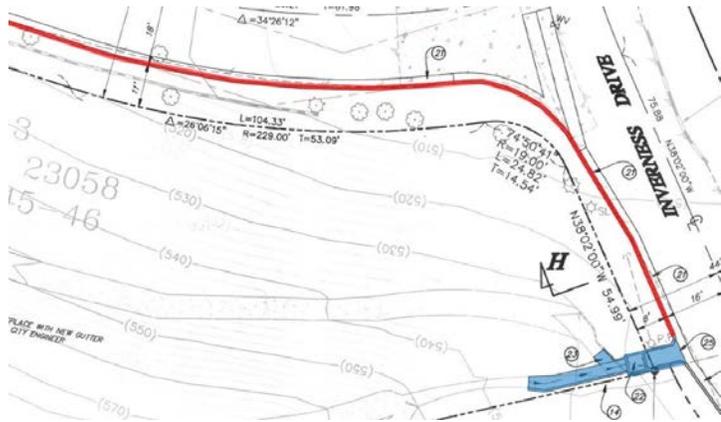
During initial project review, the home’s entry was not specifically discussed in the staff report, despite its overall height qualifying for Second-floor Review. This was largely because of the entry’s internal location relative to the both the home’s footprint and site, and lack of visibility from the street. The size of the entry portico (projecting 6 feet from the front elevation and achieving an approximate 13'-6" height) and its transition to an open deck at the 2nd-floor level would not yield undue prominence or imbalance in staff’s estimation. Given the size of the home and width of the front façade, the entry is regarded as a reasonable project component of minimal scale (*highlighted below*), and approval through the Second-floor Review process continues to be recommended.



Grading / Drainage / Street Improvements

The initial project involved grading down a majority of the existing pad, up to 7-8 feet to the rear where the pad slopes upward before terminating into the surrounding hillside. Given this and the required excavation to accommodate the basement and pool, considerable export totaling 3,421 cubic yards would have resulted.

The new plan reduces overall grading depth by 1 foot. This is reflected through a revised finished floor elevation of 583.50, contrasted with 582.50 as originally proposed. Though seemingly minor, application of the reduction throughout the main pad area reduces export material by 904 cubic yards (26%). A total of 2,500 cubic yards of export is now proposed, significant, but not unreasonable given the size of the site and scope of the project. A corresponding benefit would be the 1 foot reduction in height of most retaining walls proposed around the perimeter of the building pad. The grading plan includes a revised drainage component that has been reviewed and conditionally approved by the City Engineer. Integral to the plan is replacement of the existing terraced drainage swales and



creation of a new outlet structure at the far northeast corner of the property ([construction items #14 #22 #23 #25](#)). In response to public comments, [item #21](#) and Sections G-G and H-H detail public street improvements required as part of the project. These improvements will be included on a 'street improvement plan' to be submitted as part of the encroachment permit for the project, in conjunction with plan check.

Environmental Review

As requested, staff has enclosed the Initial Study Questionnaire for the Commission's review. The project was found to be exempt under Section 2.5(c)(1)(new construction) and 2.5(c)(5)(accessory structures) of the City of La Cañada Flintridge Guidelines for the Implementation of CEQA since the project is an infill project on a previously graded site

with a large flat pad and driveway. New grading would result in significant export from the site. Alleviation of potential impacts from associated truck trips is ensured mainly through Condition #16, which requires submittal of a haul route plan. Said plan is required to detail the route, queuing and destination of the trucks for removal of dirt from the site, as well as the frequency of operation. Frequency of operation include days of operation, time of operation and the time spacing of vehicles between pickups. Weekend hauling is prohibited while times of operation also address local school operations, trash pickup and any other similar activities that would be affected by the movement of larger trucks.

Site Disruption Threshold

The project’s scope is significant for a single-family residence and at the September 8th meeting, the extent of site disruption was questioned as was applicability of the associated condition:

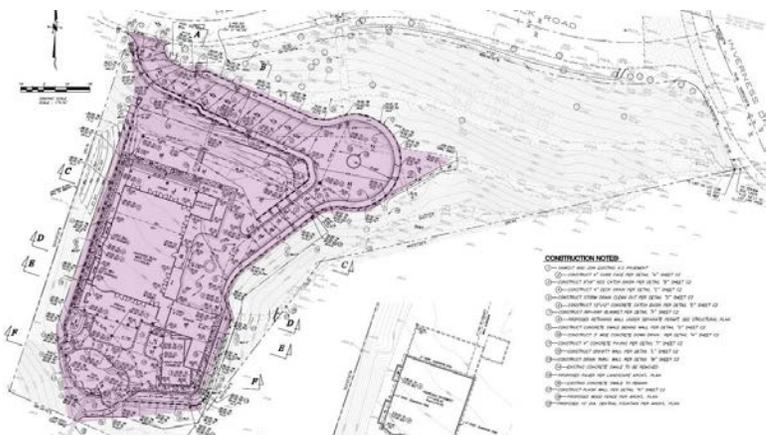
- 21. This project **disturbs less than one acre of land**, the project is subject to the following minimum construction requirements:

Sediments from areas disturbed by construction shall be retained on site, using structural drainage controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities, or adjacent properties via runoff, vehicle tracking, or wind.

Construction-related materials, wastes, spills or residues shall be retained on site to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.

Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to remove sediments and pollutants.

Staff has re-measured the overall construction zone inclusive of the residence, expanded pad, pool/patio area, retaining walls and driveway (highlighted to the right). A total of 39,000 sq. ft. of site area would be affected, within the 43,560 sq. ft. threshold established by the above condition, which continues to apply to the request. However, should the amount of disrupted site area increase, the following mandate would apply:



The Applicant must obtain coverage under a statewide General Construction Activities Stormwater Permit (General Permit). In accordance with the General Permit, the applicant shall file with the State a Notice of Intent (NOI) for the proposed project. Prior to issuance

of a grading permit by the City, the applicant shall have a Stormwater Pollution Prevention Plan (SWPPP) approved by Building & Safety. The SWPPP shall include a copy of the NOI and shall reference the corresponding Waste Discharge Identification (WDID) number issued by the State upon receipt of the NOI.

C. SUMMARY / RECOMMENDATION:

Based on the above discussion, staff has concluded that the revised proposal, through its reduced scope and clarification of technical concerns, is consistent with the Planning Commission's direction. It also satisfies required Hillside Development Permit, Second-floor Review, Conditional Use Permit and Director's Misc. Review (flat roof) findings as detailed in the original staff report and revised resolution. Staff therefore recommends that the project **BE APPROVED**, subject to the conditions of approval listed in Exhibit "A", attached to the draft resolution.

C: *Jay Johnson / 1125 Foothill Blvd. / LCF, CA / 91011*
Saro Giragosian / 1464 Sugar Loaf Drive / LCF, CA / 91011

Att: *Original Staff Report - 9/8/2015 PC meeting*
Minutes - 9/8/2015 PC meeting
Initial Study Checklist as completed by the applicant

CITY OF **LA CAÑADA FLINTRIDGE**

RESOLUTION NO. 16-xx

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF LA CAÑADA FLINTRIDGE
APPROVING HILLSIDE DEVELOPMENT PERMIT 14-39
SECOND-FLOOR REVIEW 14-36, CONDITIONAL USE PERMIT 506,
DIRECTOR'S MISC. REVIEW 15-23 (flat roof)
FOR CONSTRUCTION OF A NEW 2-STORY RESIDENCE,
EXPANDED DRIVEWAY, RETAINING WALLS, SWIMMING POOL/SPA
AND RELATED SITE IMPROVEMENTS
AT 520 HAVERSTOCK ROAD
AS REQUESTED BY
SARO GIRAGOSIAN**

WHEREAS, a request by Saro Giragosian has been received for a Hillside Development Permit, Second-floor Review, Conditional Use Permit and Director's Misc. Review (flat roof) to allow construction of a new 2-story residence and related site improvements, said request attached hereto and incorporated herein by reference; and

WHEREAS, the Planning Commission, on September 8, 2015, held a public hearing and conducted a review of the request and voted to continue the project for additional information; and

WHEREAS, the Planning Commission, on February 9, 2016, held a continued public hearing and conducted a review of the revised request; and

WHEREAS, the Commission reviewed the project and determined that no significant environmental impacts would result from the project, which is Categorically Exempt from the California Environmental Quality Act, under Class 2.5(c)(1)(new construction), and 2.5(c)(5)(accessory structures) of the City of La Cañada Flintridge Guidelines for the implementation of CEQA; and

WHEREAS, the Planning Commission has reviewed the facts contained in the staff report dated September 8, 2015 and update memo dated February 9, 2016, regarding the application for a Hillside Development Permit, Second-floor Review, Conditional Use Permit and Director's Misc. Review at 520 Haverstock Road, and heard and considered the testimony of the applicant and the public; and

WHEREAS, based on the evidence presented by the application materials, staff report, and public testimony, the Planning Commission finds the following:

Section 1:

Hillside Development Permit:

1. The project, through elements of architectural and landscape design, will uphold the policies of this chapter, and will be harmonious with the better aspects of the built and natural setting because the house is set well back and elevated from the street, sited on a pre-graded pad and is within the development limits expected for a hillside house on a lot of this size. Landscaping will be added to accent the site and new residence.
2. The project will maximize potential for sensitive use and effective preservation of open space because the project utilizes the level pad and existing driveway of the lot to its best advantage. The existing pad will be graded but major sloped portions of the site will be left in their natural state.
3. The project will not be detrimental to the public health, safety, or general welfare because the site was graded and drainage improvements installed 40 years ago. These improvements include terraced swales and catch basins that will be removed and upgraded as part of the project. The lot can accommodate the proposed project without causing any detrimental effects on the public's health, safety or general welfare.
4. The project will not adversely affect the orderly development of property within the City because the project site was approved by a previous tract map under the county, graded and improvements installed 40 years ago. The site has been intended as part of the orderly development of the City prior to its incorporation. The project is the last lot of the tract map that created it. The City's General Plan Land Use Element included this site as part of future estate residential development.
5. The project will conform to the goals and policies set forth in the General Plan because the house does not present unreasonable visible mass and respects the hillside terrain by utilizing a pre-graded pad and driveway cut. The project introduces development that is proportionate to the pad and accommodated by the site. The compatibility of the house as analyzed in this report upholds the General Plan Land Use Element Goal 4 to "(m)aintain hillside areas for the purpose of preserving the visual quality of the City, protecting the public from safety hazards, and conserving natural resources," and the applicable Policies (4.1.2) to "(e)nsure that land divisions or new development in hillside areas do not alter the character of existing neighborhoods" and (4.1.3) to "(e)nsure that development preserves the City's natural environment, setting, and viewsheds, through design, siting, and construction that avoids obtrusive breaks in the natural skylines and minimizes the visual impact of grading, intrusion of highly visible cut and/or fill slopes, building and roof lines, and/or roadway surfaces.

6. The project will not create a nuisance, hazard or enforcement problem within the neighborhood or the City or require the City to provide an unusual or disproportionate level of public services because the project, consisting of a single-family residential use, will not result in a change in anticipated use or intensification of development beyond that allowed in the General Plan and zoning code. Infrastructure is already in place to provide water, fire protection, and utilities to the site while drainage facilities would be upgraded. The site has been found to percolate, is geologically suited for development and is served by an existing street system.
7. There are special conditions or unique characteristics of the subject property and its location or surroundings, such as minimal views or the potential for reducing effectively viewed bulk, which justify exceeding the provisions of one or more of the provisions set forth in this chapter to permit project development because this site meets all the requirements set forth in the Hillside Development Chapter of the Zoning Ordinance, while the project floor area in excess of the Slope Factor Guideline is allowable since the site's slopes and overall topography are favorable attributes that reduce exposure and visibility of the residence, as opposed to contributing to it. Similarly, the home's 136-foot overall maximum length is enabled by unusually large pad and lot size and its perpendicular orientation to the street.
8. Any potential for the project to present visibly excessive bulk from any vantage point, near or far, is mitigated by screening or siting characteristics because the house is effectively screened from close view from the north, south and west through the significant variations in topography. The view from the east is mitigated by the grade difference between the pad and street, depth of the front setback, orientation of the house and landscape improvements.
9. The project does not create an avoidable or unreasonable impairment of the view from any other property because there are no other houses in the immediate vicinity of this lot that could have their views unreasonably impaired. There are no houses to the south or east, houses to the north are well below and across the street from the subject site. The house to the west is elevated above the subject house and well screened along the common property line and while easterly views from a small balcony could be affected, the overall impact is not expected to be significant.
10. The height of the project, or any part of the project, does not present visibly excessive bulk from any vantage point, near or far because the height of the house is compliant and consists of distinct one-story and two-story components that would not be prominently viewed from most vantage points considering the remote location of the site and visual insulation afforded by its topography. The

project height is maintained within the 28-foot hillside limit. The placement of the house puts the narrow side toward the street with the bulk of the building hidden behind it. The position of the house is within an “alcove” of the surrounding hillside that precludes most offsite views; the project will not create an undue fire, flood, mudslide, subsidence, seismic safety, or other environmental risk for any persons or their property because the project would be built on an existing level pad deemed suitable for development as proposed. The pre-graded pad has been prepped for construction for many years with basic drainage infrastructure in place. Several agencies including the LA County Fire Dept. and LA County Health Dept. will be involved with review of the project for further safeguarding. Landscaped slopes along the perimeter of the site would be retained with upgraded drainage infrastructure included as part of the request. Soils and hydrology studies confirm that no major structural, septic or flooding risks would result from the project; the privacy of the residents of other properties will not be unreasonably compromised because only one property is visually proximate to the proposed residence. This property is developed with a large two-story residence at a higher elevation and benefits from its raised position since the grade difference between the two lots precludes intrusive views to and from each property. With adequate separation and screening provided between the two homes, an unreasonable privacy impact is not anticipated. Outdoor activities, most notably the pool and patio, are also set back from the front of the lot. Additionally, the surrounding lots have most of their outdoor activities located out of view from the street. The site is constrained by topography in such a way that privacy is largely inherent.

Second-floor Review:

1. The two-story design includes adequate setbacks, screening and modulation because the spacious semi-wooded site and secluded pad afford visual buffering while building modulation is demonstrated through the garage wing and its forward projection from the home’s central mass and large verandas flanking the sides of the residence. Ample setbacks would be provided to the front and sides with the front setback benefiting from a sloped bank that removes a majority of the home from prominent view. Natural landscaping along the site’s slopes would be retained while new trees, shrubs and groundcover would be added.
2. The two-story design preserves the existing scale and character of the surrounding neighborhood because although the proposed home is large, it would not convey an excessive visual scale considering its location on an elevated and secluded pad that can accommodate the footprint, lack of full exposure and deep front setback. Absent a uniform visual scale or dominant

design pattern within the area, the project would not upset the character of the surrounding neighborhood.

3. The two-story design protects public views, aesthetics, privacy and property values of the neighbors because the site's perimeter is partially wooded/shrubbed with an interior pad that is shielded from most offsite views, while neighboring homes are typically at varying elevations or adequate distances and would not be impacted by the introduction of a new 2-story residence. Though large, the proposed terraces would not have the needed height or visual "reach" to afford problematic views into neighboring properties.
4. The two-story design is consistent with the Residential Design Guidelines as adopted by resolution of the City Council because the massing, materials and detailing utilized by the project are consistent with Mediterranean Revival style architecture, and are appropriate for the spacious site and eclectic character of the immediate area. The pad's elevated and distant relationship with Haverstock Road would remove the house from prominent exposure and minimize offsite impacts that can result from sizeable construction such as that proposed. Thus, the primary directives of the City's Residential Design Guidelines as related to neighborhood and streetscape preservation and compatibility are upheld by the project.

Conditional Use Permit:

1. The proposed use will not be in substantial conflict with the adopted General Plan for the area because the General Plan Designates the area as estate residential, with a maximum of 1 units per acre, and the zoning classification of R-1-40,000 corresponds to that General Plan designation. Thus, the development of the parcel with a single-family unit is consistent with the General Plan. Also, the project is consistent with Goal 4 of the Land Use Element, which is to "maintain hillside areas for the purpose of preserving the visual quality of the City, protecting the public from safety hazards, and conserving natural resources", since the scale and massing are appropriate to the single-family estate residential character of the site within its neighborhood setting. In short, the immediate area is designated and zoned for very large lots, which in turn accommodate large homes such as that proposed.
2. The requested use at the location proposed will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare

because there is nothing intrinsic about the construction of a house over 10,000 sf that sets it apart from the safety, health, welfare, peace or comfort of a house at 9,900 sf. House construction is regulated by the Building Code, Health Dept., Fire Dept. and appropriate engineering. The project introduces a new single-family residence on a legally developable property intended for such a use and does not jeopardize any of the above statements. The spacious site is of adequate size to allow for sizable development without adverse offsite impacts, while the overall presentation from the street would not be visually disruptive considering the elevated pad and the home's ample front setback.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this code, or as is otherwise required in order to integrate said use with the uses in the surrounding area because the size of the site is more than adequate to accommodate the structure and associated residential uses as evidenced by compliance with all floor area, setback and height requirements. The project has met all the development standards required of a hillside house. The unique shape and topography of the site lends to visually insulating a majority of the new residence and rear yard amenities.
4. That the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required because the cul-de-sac street is a 58 foot wide collector serving four houses and feeding to a 44 foot residential collector. With the total volume of traffic expected, the Level of Service will remain at "A." The proposed driveway, auto-court and garage will accommodate ample onsite parking.
5. That the proposed project preserves the existing scale and character of the surrounding neighborhood and protects public views, and aesthetic values in the neighborhood because the scale of the building relative to lot size is within the tolerances of the surrounding neighborhood. However, it is the unique project setting and spacious lot size that limits exposure of the house and views of the site's interior. Other large two story residences of varied design and siting are found in the area. The project floor area as proposed would not unduly impact the general character of the surrounding neighborhood.

Director's Misc. Review (flat roof):

1. The roof configuration accommodates an architectural objective, as dictated by style, scale, and/or architectural consistency with the subject structure because the use of a flat roof component controls overall building height at the center of the structure and allows flexibility in the floor plan arrangement and

achievement of floor area commensurate to the lot's estate size. It also avoids an overly flat roof profile.

2. The proposed project preserves the existing scale and character of the surrounding neighborhood, and protects public views, and is sensitive to private views and aesthetics and other property values in such neighborhoods in a manner compatible with development of the subject lot and with the residential design guidelines because the roof design is consistent with the home's design and eases overall massing by limiting building height. No scale, compatibility or privacy issues attributable to the project's roof design are apparent given the lack of design consistency in the area and seclusion afforded to the site.

Section 2:

NOW, THEREFORE, be it resolved that the Planning Commission approves the Hillside Development Permit, Second-floor Review, Conditional Use Permit and Director's Misc. Review (flat roof) requests at 520 Haverstock Road, subject to the conditions listed in Exhibit "A", attached to this resolution.

PASSED, APPROVED AND ADOPTED this 9th day of February, 2016.

Chair of the Planning Commission

ATTEST:

Secretary to the Planning Commission

EXHIBIT "A"
CONDITIONS OF APPROVAL
HILLSIDE DEVELOPMENT PERMIT 14-39
SECOND-FLOOR REVIEW 14-36
CONDITIONAL USE PERMIT 506
DIRECTOR'S MISC. REVIEW 15-23
520 Haverstock Road

Standard Conditions:

1. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining final building inspection clearance and/or prior to obtaining any occupancy clearance. Deviation from this requirement shall be only by written consent of the Director of Community Development.
2. This approval is granted for the land or land use as described in the application and any attachments thereto, and as shown on the site plan submitted, labeled Hillside Development Permit 14-39, Second-floor Review 14-36, Conditional Use Permit 506 and Director's Misc. Review 15-23 (flat roof).
3. Prior to obtaining a building permit or when applicable initiation of use, the applicant and property owner shall file with the Secretary of the Planning Commission written acknowledgment of the conditions stated herein on forms provided by the Planning Department.
4. All structures, site work and other features including but not limited to, buildings, roadways, parking areas, landscaping and other facilities shall be located and maintained as shown on the plans labeled Hillside Development Permit 14-39, Second-floor Review 14-36, Conditional Use Permit 506 and Director's Misc. Review 15-23 (flat roof), Sheets A0.0-A3.3 except as otherwise stated in these conditions.
5. This approval will expire unless "start of construction" is commenced within 24 months after approval is granted and diligently pursued thereafter. The Director of Community Development may extend the original expiration date by as much as 12 months upon receipt of a written request from the applicant prior to expiration of the original approval if the approved project and applicable zoning standards are unchanged. Start of construction is defined as:
 - a. All zoning and related approvals are effective; and
 - b. All required building and grading permits for the project have been issued; and

- c. The "foundation inspection" and "concrete slab or underfloor inspection" have been made and received approval from the Department of Building and Safety; i.e., all trenches must be excavated, forms erected, and all materials for the foundation delivered on the job and all in-slab or underfloor building service equipment, conduit, piping accessories and other ancillary equipment items must be in place. Nothing in this definition shall be construed to alter the applicable legal standards for determining when vested property rights to complete the project have arisen.
6. All applicable requirements of any law, ordinance, or regulation of the City of La Cañada Flintridge shall be complied with.
7. This approval is subject to the applicant paying all fees, deposits and assessments to the City of La Cañada Flintridge, as established by policy, ordinance or resolution of the City Council prior to occupancy or initiation of use. This includes payment for contracted staff services as invoiced to the city.
8. In the event the City determines that it is necessary to take legal action to enforce any of the provisions of these conditions, and such legal action is taken, the applicant agrees to pay any and all costs of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not prosecuted to a final judgment or is amicably resolved, unless the City should otherwise agree with the applicant to waive said fees or any part thereof. The foregoing shall not apply if the permittee prevails in the enforcement proceeding.
9. The applicant shall defend, indemnify, and hold harmless the City and its officers, agents, and employees from any claim, action or proceeding against the City or its officers, agents, or employees to attack, set aside, void, or annul approval of this Hillside Development Permit, Second-floor Review, Conditional Use Permit, and Director's Misc. Review (flat roof). The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense.
10. An approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Department of Building and Safety must be obtained prior to construction, enlargement, relocation, conversion, or demolition of any building or structure within the City.
11. All construction/contractor parking shall be on-site only. If it is deemed by the Director of Community Development that sufficient on-site parking may not be

available, then on-street parking in front of the site will be permitted if it can be demonstrated that such parking will not interfere with the immediate neighbors, and will not interfere with the public's use of the surrounding streets. If this cannot be found, then any additional construction vehicle or equipment parking must occur off-site at a location approved by the Director of Community Development. Approval of the off-site location shall be based on the submittal of a Parking Management Plan by the applicant that demonstrates that the site shall not interfere with the neighbors in the area or hinder the public's use of the surrounding streets. Contractors and construction workers will be required to carpool to the construction site. No construction, no deliveries and no movement of construction materials shall occur on Sundays or City recognized holidays.

12. Any subsequent substantive change to these approved plans by the Fire Department or any other agency having subsequent approval authority shall cause these plans to be returned to the Planning Commission for additional review and approval prior to permit issuance.

Planning Conditions:

13. Primary roof and wall color shall comply with light reflectance value (LRV) limits. Confirmation to this effect shall be demonstrated prior to issuance of any permits.
14. No occupancy shall be granted until the Director of Community Development or his designee confirms that the landscaping installation is complete and consistent with the approved plan.
15. Unless this approval is appealed to the City Council, story poles shall be removed promptly (within one week) after expiration of the 15-day appeal period. Verification of this shall be required prior to submittal of the project for plan check OR prior to issuance of building permits for those projects where "at-risk" plan check is in process or has already been completed.
16. The applicant shall prepare a Haul Route Management Plan. The plan will describe the route, queuing and destination of the trucks for removal of dirt from the site, as well as the frequency of operation. Frequency of operation shall include days of operation, time of operation and the time spacing of vehicles between pickups. The Haul Route Management Plan shall be reviewed by the Director of Public Works and the Director of Community Development. In particular, the plan shall prohibit hauling operations on Saturdays and Sundays, and on days when other large trucks are scheduled to be in the area (trash on Mondays). Times of operation shall also address local school operations and any other similar activities that would be affected by the movement of large trucks.

As part of the plan, the applicant shall fund a temporary city employee to act as the Haul Route Manager for the city. This person shall be responsible for managing the plan and shall report directly to the City Engineer or the Director of Public Works. No permits of any kind shall be issued until the Haul Route Management Plan is approved by both Directors and the Plan Manager hired.

17. Retaining wall color and material shall be reviewed and approved by the Director of Community Development prior to issuance of permits. In general, split-face material or stucco treatments of recessive color are encouraged for walls visible from Haverstock Road.
18. The site shall be watered regularly during all grading activity to limit dust/debris emissions.

Public Works Conditions:

19. Applicant shall submit a preliminary grading plan, indicating elevation contours, on-site drainage flow and BMPs.
20. The project shall comply with Los Angeles County's Low Impact Development Standard.
21. This project **disturbs less than one acre of land**, the project is subject to the following minimum construction requirements:
 - Sediments from areas disturbed by construction shall be retained on site, using structural drainage controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities, or adjacent properties via runoff, vehicle tracking, or wind.
 - Construction-related materials, wastes, spills or residues shall be retained on site to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
 - Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to remove sediments and pollutants.
22. Prior to any construction (including, but not limited to, drive approaches, sidewalks, curb and gutter, etc.), trenching or grading within public or private street right-of-way, the applicant shall submit a street improvement plan consistent with the approved Site Plan and conditions of approval and obtain encroachment permits from the Engineering Division.
23. Any proposed mailbox structure shall be approved and permitted by Public Works.